



Design Guidelines

Ridgecrest at Glenridding Ravine Front-Drive Duplex Homes

STAGE ONE:

- Block 1 Lot(s) 5-16
- Block 2 Lot(s) 2-19



Prepared for Rohit Land Development
by IBI Group

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1 Objective

The objective of these design guidelines for Ridgecrest Stage 1 (Semi-Detached Homes) is to ensure the very highest standard of visual appeal and image; ensuring compatibility among homes and integration of the community into the natural landscape. Outlining the opportunities and constraints of building, these design guidelines will assist builders, designers and home buyers in achieving problem free construction.

These Design Guidelines apply to the following lots:

- Block 1 Lot(s) 5-16;
- Block 2 Lot(s) 2-19;

The Stage 1 map is presented in Appendix 'A'.

2 Architectural Theme

The selected architectural theme provides elements that can be incorporated in a diverse range of styles including Heritage Contemporary, Contemporary Prairie and French Country, in a variety of applications. This design emphasis will be on simple well executed design style with a contemporary edge.

3 Streetscape

Care must be taken to integrate the unique values of each home with special attention to the relationship with neighbouring properties. Relative massing, siting and style will be of utmost importance in assuring each home compliments its neighbour and the subdivision. Building massing, siting and style may be adjusted and/or alternate treatments requested to reinforce the streetscape. Entranceways are to cover and protect the space, at the first level or a height proportionate to the design. The style, width, height and detailing of entranceways will together create a sense of arrival.

4 House Size & Form

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and neighbouring houses.

Semi-detached pairs are required to have a second floor minimum recess of 2'-0" from garage front wall plane.

Garages are to be designed in a way to reflect the rest of the homes on the street and enhance the front entry way. Garage size and minimum exposed house frontage will be established based on the pocket size of the lot as per the table below. A maximum 2' pocket relaxation will be permitted on lots with a 20' pocket or larger. **No pocket relaxation will be permitted on 18' pocket lots.**

House Size & Pocket Fill (Front-Drive Duplex)

Minimum House Width	Minimum Exposed House Frontage	Maximum Garage Width
24'	4'	20'
22'	4'	18'
20'	5'	15'
18'	4'	14'

**Note: Frontage calculations are based on home size, not pocket width, meaning that a 22' home with the noted calculations can be placed on a 24' pocket.*

The minimum house sizes are to be 1,200 sq. ft. for two storey homes.

Homes that do not meet the requirements as stated above may be considered at the discretion of the Design Consultant. Homes will be reviewed on their individual merits of design, massing, proportion, and compatibility and, where the Design Consultant considers the plan to be exceptional, and, provided that the house confirms with the general trend of the neighbourhood, exceptions may be considered.

5 Site Planning & Grading

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision. For lots with a more dramatic change in terrain such as walk-out basement lots or drive under lots, there may be a requirement for special terracing and/or retaining walls. The purchaser shall be responsible for the design and construction of such retaining structures and must ensure design grades and lot drainage is not compromised.

If a retaining wall is required and if the retaining structure is to be more than 1 m (3'-0") in height, it must be stepped to reduce the wall's visual mass.

Special attention is to be given to the treatment of exposed concrete foundation walls. A maximum of 2' of parging will be permitted on all elevations of the homes. Variation in grade and basement design may require cladding material be lowered or extended to within 2' of ground level.

6 Corner Lots

Houses on corner lots require special consideration. Flanking side elevations are to have suitable front elevation treatment with principle roof planes sloping toward view. All models will be considered for corner lots based on their unique suitability to these locations. Houses will require variation in wall planes, substantial roof line between floors, appropriate wall heights, window placement and detailing.

The lots affected will be:

- Block 1 Lots 5 and 16;
- Block 2 Lot 19;

7 Walkout Lots

The rear elevation of these homes requires special design consideration and must avoid large expanses of blank wall space as well as a three storey towering appearance. The architectural devices that will best achieve the desired elevation are a combination of various wall planes, downhill sloping roofs in combination with dormers, decks and balconies. The distance from grade to the first eave line should not be more than 20'.

8 High Visibility Lots

High visibility rear elevations require special design consideration. These elevations must have openings of a number and size that is suited to the wall area, and incorporate detailing consistent with the front elevation and overall design. The lots affected will be those backing onto public spaces.

9 Roofing

To provide a unifying theme throughout the subdivision, the roof pitch will be a minimum of 6/12 and a maximum of 7/12. The roof style on all homes are to correspond to the style of home as indicated in **Appendix "B" – Styles**. Flat or shed roofs will not be permitted as the main roof, however may be considered on a secondary roof line. This is to correspond to the overall style. In consideration of overall massing and style, some secondary roofs may not be subject to this minimum requirement.

The roofing materials/colours may be selected from the following:

- Unicrete Concrete Tile Shake Profile (compatible colours to be reviewed on an individual basis);
- Decra Shingle profile (Fawn Grey, Slate) Shake profile (compatible colours to be reviewed on an individual basis);
- IKO Cambridge 30 (Weatherwood, Driftwood, Harvard Slate, Dual Black);
- BP Mystique 42 (Stonewood, Twilight Grey, Weathered Rock, Shadow Black);
- Elk Prestige 11 30/40/50 (Weatherwood, Antique Slate, Sablewood) Grand Series (Barkwood).

Roof overhangs will be proportionate to the design with suitable overhangs incorporated at all cantilevers, box-outs and bays. A minimum 8" fascia is required.

Chimneys and flues must be contained within a corbelled chase, finished in a style consistent with the home design.

10 House Repetition

Similar or approximately identical semi-detached pair elevations and exterior colours must not be repeated within two semi-detached pairs (i.e., X-O-A-X) or directly across the street. To be considered different, an alternate elevation must reflect substantial modifications. Repetitive use of elevations will be monitored to ensure an interesting and varied streetscape.

It is highly recommended that the same model not be placed adjacent to each other to meet this requirement.

11 Front Entrances & Columns

Entranceways will be covered at a level that encloses and protects the space at the first level or a height proportionate to the design. Two storey pillared entries will not be permitted.

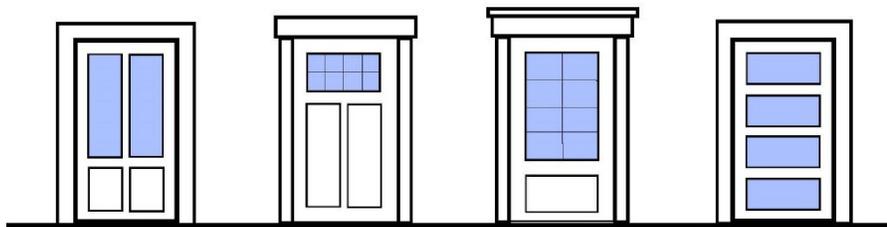
Front entry doors are to be a design compatible with the house style and to contain glazing or a sidelight in lieu of door glazing. Fanlight or sunburst door glazing is not permitted. Sidelights are highly encouraged.

Where columns or posts are used on the front or highly visible elevations, they are to be of substantial form and solid in appearance. Columns will be a requirement on all front verandah. Columns are to be white and a minimum of 18" x 18" or equivalent overall size at the base. Rectangular column; 22" x 14" at the base is an example of an acceptable equivalent overall size. If masonry is desired on the columns it is to have a minimum height of 3'6". **Please see Appendix "D" for examples of an acceptable column detail. Round, fluted and tapered columns are not acceptable.**

Front entry steps are to be a maximum of four risers per set. Where the grade requires more than four risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum 4' wide with appropriate railing style.

Wooden verandas and porches must be skirted to grade with closed risers. The front facing elements of these verandas must be stained to match the wall colour or trim colour. This includes the front facing portion of the front steps - no open stair treads will be permitted

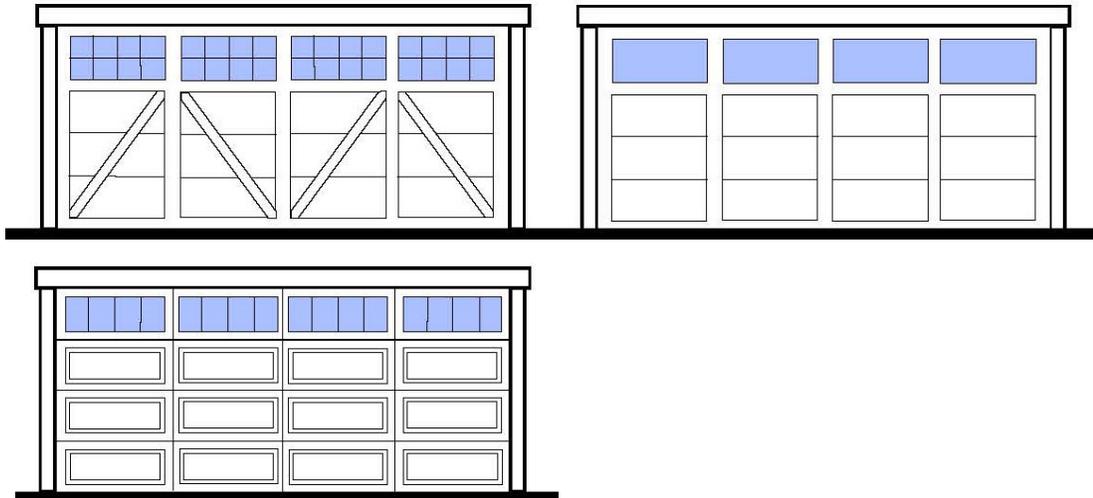
The following are examples of acceptable door styles:



Other door styles may be considered at the discretion of the Developer or the Design Consultant.

12 Garages & Driveways

Garage overhead doors must be compatible with the selected house style. The use of glass panels in overhead doors is required for all lots with front attached garages. The style of glass panels must be as shown and the use of Stockton or Heritage doors with glass panels is highly encouraged. Sunburst or other glazing patterns will not be permitted. Custom carriage doors will be allowed if appropriate to the design of the home. The following are examples of acceptable garage door styles:



* The same garage door is not permitted to be used on adjacent semi-detached pairs (X-O-X-O).

Double attached garages as a maximum are allowed under the massing guidelines previously noted and must be located in accordance with the garage location plan. Driveways and front walks are to be broom finished concrete at minimum, but may be exposed aggregate concrete, stamped concrete or broom finished concrete with stamped or exposed aggregate borders. Unit pavers are permitted as an accent or border material only. Driveways are recommended to have an organic shape with a maximum driveway width at the front property line not larger than the width of the garage.

A maximum of 18" must be maintained between overhead garage door and the eave line. Where the height exceeds 18", special detailing may be required. Gable ends will require appropriate detailing to soften the visual impact accordingly.

Corners of overhead door must be straight. Angled corners will not be permitted.

All garage doors are to be white.

13 Exterior Colours

Colours will be approved on an individual basis. Premium colours (Mitten - Act or GAF - CertainTeed Monogram typical) will be required on all lots.

Secondary wall materials are not permitted to match the main wall or trim wall colour. The use of an accent colour in the same medium as other wall materials are not permitted (i.e. two types of colour shakes will not be permitted). Two horizontal siding colours may be considered on the elevation if the horizontal siding is installed in a panel effect and both colours have a balanced representation on the front elevation.

A third colour is a requirement on all homes and may be incorporated in the front entry door. Vibrant colours are encouraged for the front entry door. In keeping with the character of the neighbourhood and in consideration of blended streetscapes, pastel colours are not permitted.

All homes are to use premium colour siding, accent panels and accessories. Darker colour palettes are to dominate the streetscapes. Bold and vibrant colours are encouraged.

White trim, soffit, fascia, rainware and railings are mandatory on all lots. All garage overhead doors are to be white.

14 Exterior Finishes/Design Details

To achieve the standard and caliber of visual appeal, a requirement for architectural detailing and continuity will apply to all homes.

Brick or stone will be required in a panel effect. For example, if stone or brick is applied at the garage front, it must extend the height of the garage including above the overhead door to create a panel effect. Stone or brick applied as an accent will not be permitted. An alternate application of 75% of the wall height will be allowed at the discretion of the Design Consultant.

A reduction in masonry use will be considered by the Design Consultant if additional trim is applied for added detail and visual interest in accordance with the theme of the neighbourhood.

Window style and grill pattern are to be consistent with the selected house style. Curved or circular style windows will not be permitted.

The use of window and door surrounds will be a feature on all homes. Trim is to be a minimum of 6" in width.

All homes are to be finished in either Hardie Plank or Premium Vinyl Siding and must reflect the house style as indicated in **Appendix "B" - Styles**. All homes are only to contain one (1) secondary wall material in addition to masonry. The use of stucco is strictly prohibited on homes. The removal or additional use of secondary wall materials will depend on the overall style of the home, and is at the discretion of the Design Consultant.

Acceptable main cladding materials include:

- vinyl siding in traditional or (no "dutch lap" siding or clapboard profile);
- hardboard siding pre-finished (long life), horizontal application;

Acceptable secondary wall cladding materials include:

- accent horizontal siding colour and/or material installed in "block panel" effect;
- panel detailing with vertical trims;
- vertical siding;
- board and batten;
- special "wood" accent material such as Sagiwall or Longboard siding applied in a "block panel" feature suited to design;
- river rock will be prohibited;
- Hardie and metal panel may be used if suited to design.

All trim details, secondary wall materials and masonry must be returned to the adjacent wall. If the distance between wall planes does exceed 5'-0", a 2'-0" return will be sufficient.

Louvres and trim details must be consistent with the theme of the neighbourhood.

Vinyl siding and metal cladding on columns is not acceptable. All columns are to be clad with panel board and are required to match the trim colour. Stone is acceptable at the base of column only. Full height masonry columns will not be acceptable.

Homes will be reviewed on their individual merits of design, massing proportion and compatibility and, where the Design Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighbourhood, exceptions may be considered.

15 Fencing/Landscaping/Other

15.1 Landscaping

It is the responsibility of the homeowner to landscape the yard. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

All lots will require a minimum of 2 trees. At least one tree must be planted in the front yard. A maximum of 60% sod shall be used in the front yard. All lots shall have a prepared shrub bed in the front yard containing at least 6 shrubs. Shrubs shall be 18" in height or spread. The minimum deciduous tree shall be 2.5" caliper – measured 6" above ground. Coniferous trees (spruce or pine) must be a minimum 6.5' (2 m) height.

A prepared bed is to be defined by landscape edging (metal, vinyl, brick, concrete, etc.) with adequate coverage of plant material and is to contain mulch (rock, wood chip, etc.) for ground cover. In scenarios where the minimum plant material is unable to provide adequate coverage, additional plant material such as ornamental grasses, perennials or additional shrubs are to be placed throughout the bed to break up large areas of mulch (rock or wood). Large areas of rock or wood mulch will not be permitted in the front yard and highly visible rear yards. The use of white rock mulch will be strictly prohibited.

The rear yard of all lots will require a minimum of sod. In addition all lots backing onto public spaces such as parks, roads, schools, walkways and ponds will require a minimum of 3 trees in the rear yard, or 2 trees and 10 shrubs in the rear yard.

If artificial turf is desired, it is to be designed with a distinct prepared shrub bed border between the turf and the property line. The shrub bed is to include adequate coverage of plant material that is in addition to the above minimum requirements. Artificial turf is to contain a minimum weight of no less than 95 ounces per square yard and a minimum blade height of 41mm (ie. ezLAWN, ezLAWN Elite, ezLAN Platinum) are acceptable. The base is to contain a minimum depth of 4" of 20mm road crush (compacted to 90% proctor density) with a sand or crushed limestone (fine) topping. The surface infill is to contain either a Silica sand and/or rubber infill. All artificial turf must be specified by the manufacturer as a pet friendly product with a minimum 10 year warranty. Homeowners will be required to submit their artificial turf invoice prior to final inspection to verify that the specifications have been met.

All lots are to meet City of Edmonton Zoning Bylaw Landscape requirements and it is the responsibility of the homeowner to ensure that their landscaping meets these requirements.

All landscaping must be completed, in accordance with the requirements, within twelve months of completion of the house (subject to seasonal limitations). To ensure compliance with the landscaping requirements, a \$2,500.00 security deposit must be paid by the Purchaser, to be refunded by the Builder, upon confirmation of the satisfactory completion of the landscaping.

15.2 Fencing

Rear fencing for all lots shall be consistent in design and colour with the fencing style established for the community. The wood screen fence colour is to be Mushrooms Fields by Cloverdale Paints (Weather One Designer Selections Colour Code EX216). **See Appendix 'D' for fence details.** The fence type is required to correspond to the style indicated on the Stage 1 map. **(Appendix 'A')**

15.3 Accessory Buildings

The side wall elevations of all ancillary buildings and garden sheds shall not extend more than 6'. Where visible from a public adjacency (i.e., all perimeter lots and corner lots), accessory buildings must be consistent in style, finish and colour, with the house. Roof style and materials are to match the materials used on the roof of the house.

Sheds completed in an alternative plastic composite material will also be permitted in earth toned colours. Sheds containing unfinished wood are strictly prohibited. Metal sheds are strictly prohibited.

The following shed styles are acceptable, provided they are complementary to the style of the home:



The following are examples of sheds that will NOT be accepted:



15.4 Address Plaque

A standardized address plaque, as per the subdivision detail, is required for all homes. It shall be placed on the front of the garage in a visible location.

Alternate locations may be accepted at the discretion of the Design Consultant. Address plaques are supplied to the Builder by the Developer.

16 Interpretation

The enforcement, administration and interpretation of these guidelines shall be at the discretion of the Developer or its designated Design Consultant. The unfettered application of these guidelines shall be without notice or precedent.

17 Siting

17.1 Consultant

The Builder is to check with the Design Consultant for all applicable drawings, and any special conditions.

17.2 City Regulations

The Builder is to ensure that all City of Edmonton regulations are met and note relevant plans regarding utilities and rights-of-way.

17.3 Grading

The Builder is to check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

17.4 Plot Plans

The preparation of plot plans and stakeout must be carried out by the designated surveyor only. Plot plans must include the following:

- Scale 1:300 metric with north arrow and municipal address;
- legal description of property;
- all property lines, designated and dimensioned;
- size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable;
- all cantilevers (including floor, bay windows, fireplaces, eaves, etc.);
- abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately figured, explicit and complete;
- spot elevations around building and drainage directions;
- dimensions from property line to sidewalk and face of curbs.

18 Subdivision Appearance

18.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer, i.e. all model signs, directional signs and general information signs. The only signage to be supplied by the Builders Group will be on lots owned or sold by that Builder. Excessive use of signage, including sandwich boards may necessitate removal of ALL Builder's and Realtor's signs. All builder signage must be approved by the Developer.

18.2 Excavation Material

All Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighbouring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses. There is absolutely no onsite disposal.

18.3 Clean-Up

Builders should encourage timely removal by all sub-trades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all Builders.

18.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on his lot and must submit written notice of any damages to the Developer prior to commencing construction, otherwise costs for repairing any damages becomes the sole responsibility of the Purchaser.

19 Approval Process

Prior to building, the Builder inspects the lot and all services. All discrepancies or damage are to be reported in writing with the application and a copy forwarded to the Developer.

Before applying to the City for a development permit, the applicant shall submit plans for approval to the Design Consultant via the Archcontrol.com website. The plans shall include elevations, plans, cross sections, roof plans and other information. The proposed architectural theme of the home is to be stated (i.e. French Country, Heritage, etc.). The plan will be reviewed and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines.

Should disputes arise, the Developer shall make the final decision on the acceptability of plans. After approval, the plans may not be altered without prior approval.

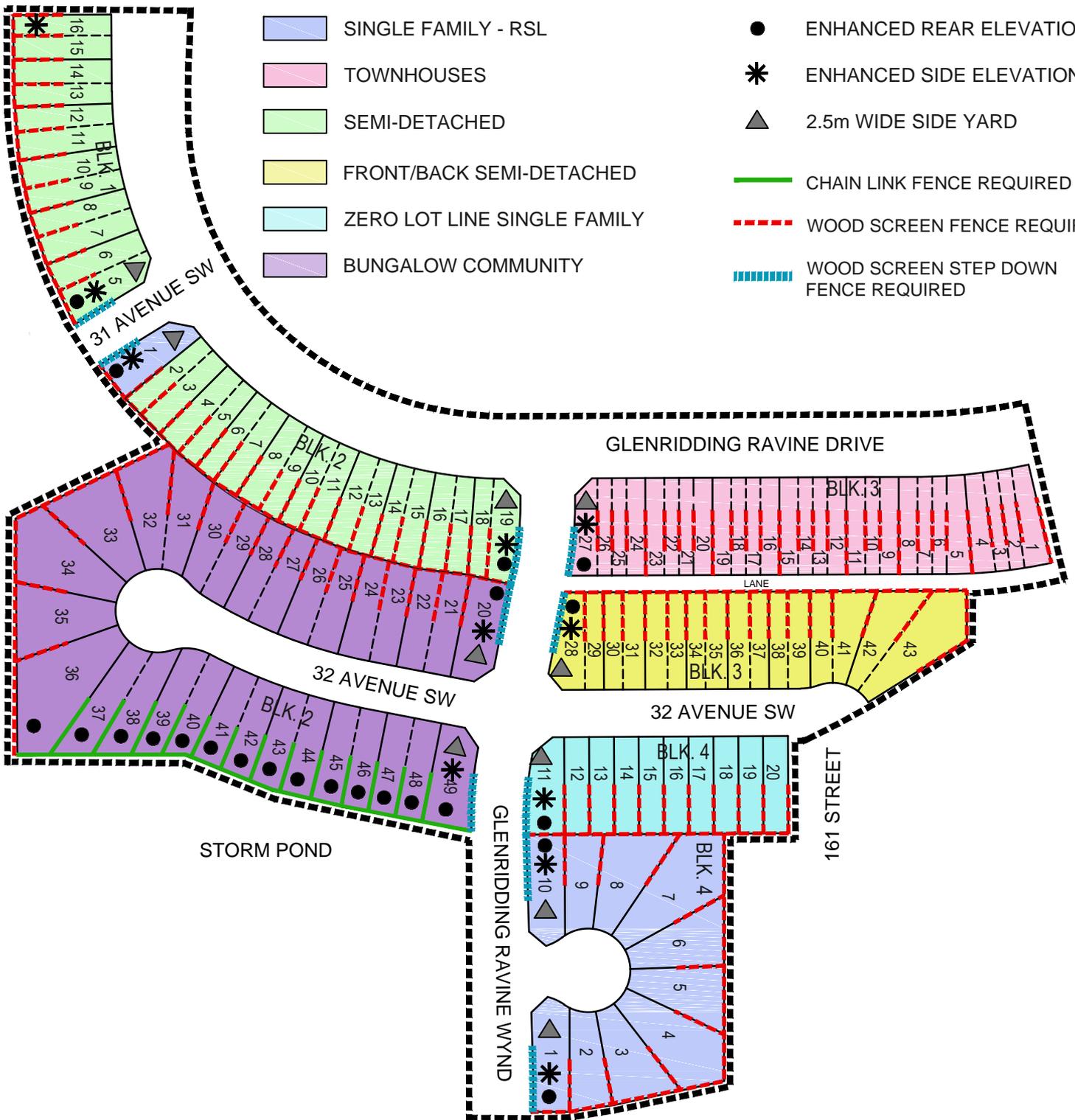
Approval of any and all house plans will be at the sole and unfettered discretion of the Vendor.

No stakeout will be granted until approval.

Appendix A – Community Map

Legend

- SINGLE FAMILY - RSL
- TOWNHOUSES
- SEMI-DETACHED
- FRONT/BACK SEMI-DETACHED
- ZERO LOT LINE SINGLE FAMILY
- BUNGALOW COMMUNITY
- ENHANCED REAR ELEVATION
- ✱ ENHANCED SIDE ELEVATION
- 2.5m WIDE SIDE YARD
- CHAIN LINK FENCE REQUIRED
- WOOD SCREEN FENCE REQUIRED
- WOOD SCREEN STEP DOWN FENCE REQUIRED



Appendix B – Design Styles

Contemporary Prairie

DESIGN STATEMENT

The Prairie style allows for simplified, horizontal forms with some modern details. Key design features that defines this style:

- No gables;
- Simple/modern details;
- Horizontal oriented windows;
- Horizontal panelling;
- Flat panel door with sidelights.

OVERALL BUILDING MASSING

The footprint is often L shaped. Roof slopes are to be minimum, 6/12 with wide overhangs – generally 18” – 24” deep soffits.

ROOF STYLES

Characterized by a simple hip or cottage style roof.

DEFINING DETAILS

Homes are to be designed to reflect a horizontal presentation. Horizontal band below the soffits and thick top and bottom trims on windows are typical details.

EXTERIOR CLADDING

To be finished in Horizontal siding or Hardie plank siding coordinated with Hardie panel applied to emphasize the horizontal presentation.

COLOURS

Colours suited to the Prairie style are mid to dark earth tones with tonal trims.

ENTRANCE TREATMENT

The entry is typically defined by a flat panel door with recessed side lights. Cottage roofs are a common feature for the verandah.



Heritage Contemporary

DESIGN STATEMENT

The Heritage Moderns style allows for traditional forms with a modern interpretation of detailing. Key design features that defines this style:

- Maximum of 3 gables;
- Simple/modern details;
- Vertical oriented windows;
- Vertical siding or vinyl board and batten are common secondary wall materials;

OVERALL BUILDING MASSING

All model types are included with an emphasis on grounded proportions where the eye is drawn to the street level. Roof slopes are to be 6/12 - 7/12. Roof overhangs are minimum 1'6" at moderate pitch.

ROOF STYLES

A single or 2 gables will be required on the second floor and can consist of a 6/12 roof slope. A gable encompassing the full house width will not be permitted.

DEFINING DETAILS

A combination of strong modern features and simple detailing defines the heritage modern style which may include structural brackets or ganged vertical windows.

EXTERIOR CLADDING

Vertical siding, panel board with trims, vinyl board and batten, brick/stone are common secondary wall materials used for this style of home.

COLOURS

Colours suited to the Heritage style include deep earth tones and a mid to light secondary wall material colour accented by contrasting heavy trims.

ENTRANCE TREATMENT

The entry are to be enclosed with verandahs consisting of a hip or shed roofs. Entry doors are simple and often include a square glass pane with modern grilled designs.



French Country

DESIGN STATEMENT

The French Country style allows for traditional forms with defining details that are explicit to the traditional French Country style. Key design features that defines this style:

- Minimum of 2 gables at a 7/12 to 9/12 roof pitch;
- Simple rectangular louvres;
- Vertical oriented windows
- Rectangular shutters and louvres;

OVERALL BUILDING MASSING

All model types are included with an emphasis on vertical proportions where the eye is drawn to the street level. Roof slopes are moderate at 6/12 or 7/12 with 12" or 16" overhangs.

ROOF STYLES

Homes are to consist of a minimum of 2 open gables in combination of hip style roofs. Gables over the garage are highly encouraged

DEFINING DETAILS

Features such as louvres and shutters are a requirement for this style. Windows are to be vertically oriented with checkered grills.

EXTERIOR CLADDING

Horizontal Siding with panel and stone are a requirement for this style of home.

COLOURS

Colours suited to the French Country style include mid earth tones main siding colour with a slightly tonal panel colour.

ENTRANCE TREATMENT

The entry are to be enclosed with either a gable or hip roof supported by multiple posts.



Appendix C – Approved Colour Selections

Approved Colour Selections

The following are the approved Hardie Plank colours (by James Hardie) and Premium Siding (Mitten, Royal, Gentek, Kaycan).

Hardie Plank (by James Hardie)

- Khaki Brown
- Woodstock Brown
- Monterey Taupe
- Timberbark
- Rich Espresso
- Mountain Sage
- Chestnut Brown
- Iron Grey
- Aged Pewter
- Deep Ocean
- Evening Blue
- Grey Slate
- Night Grey

Premium Siding

Royal:

- Walnut
- Natural Cedar
- Granite
- Shamrock
- Ironstone
- Cocoa
- Midnight Surf
- Wedgewood
- Weathered Grey
- Marine Blue
- Bark
- Toasted Almond
- Storm

Mitten:

- Khaki Brown
- Rockaway Grey
- Muskoka Green
- Grenadier Green
- Aviator Green
- Caribou Brown
- Chestnut Brown
- Danish Gold
- Spring Moss
- Regatta Blue
- Sapphire Blue
- Annapolis Blue
- Timber Bark
- Gunmetal Grey
- Eggplant
- Coffee Brown

Gentek:

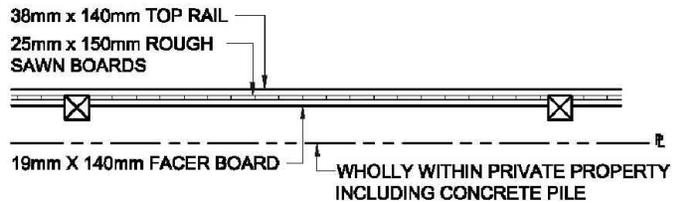
- Dark Drift
- Saddle Brown
- Moonlit Moss
- Windswept
Smoke
- Midnight Surf
- Espresso
- Iron Ore
- Mountain Arbor

Kaycan:

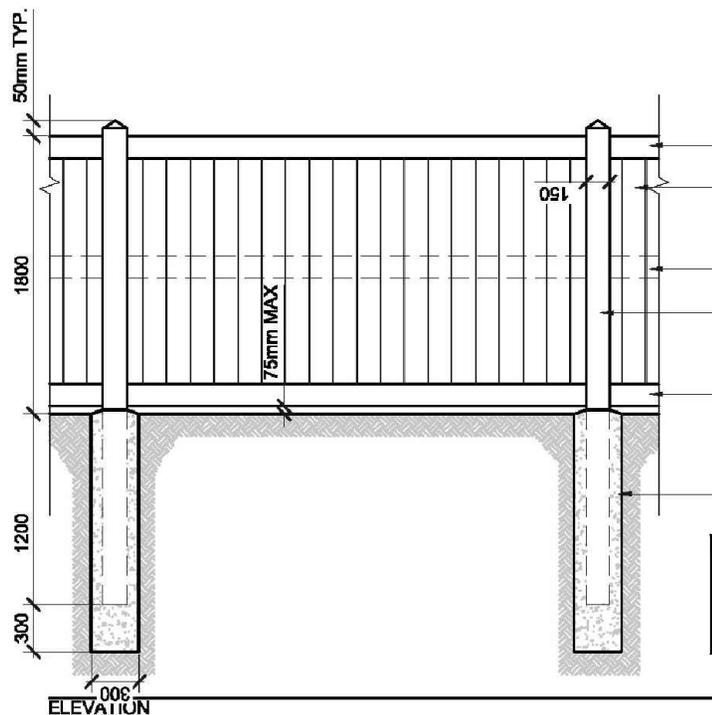
- Mahogany
- Pecan
- Castlemore
- Cabot Brown
- Manor
- Evergreen

Blue and purple (eggplant) tones will be carefully reviewed and monitored to ensure compatibility with the design style and other homes.

Appendix D – Fence Details

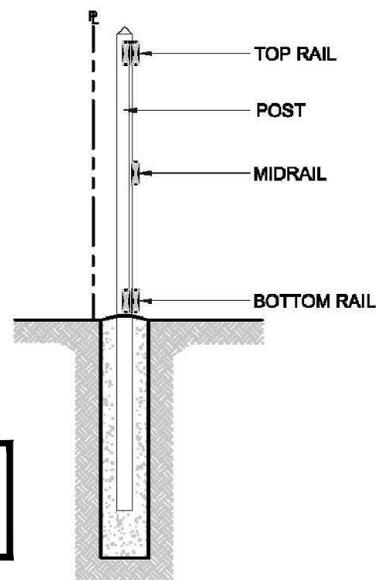


PLAN



COLOUR:

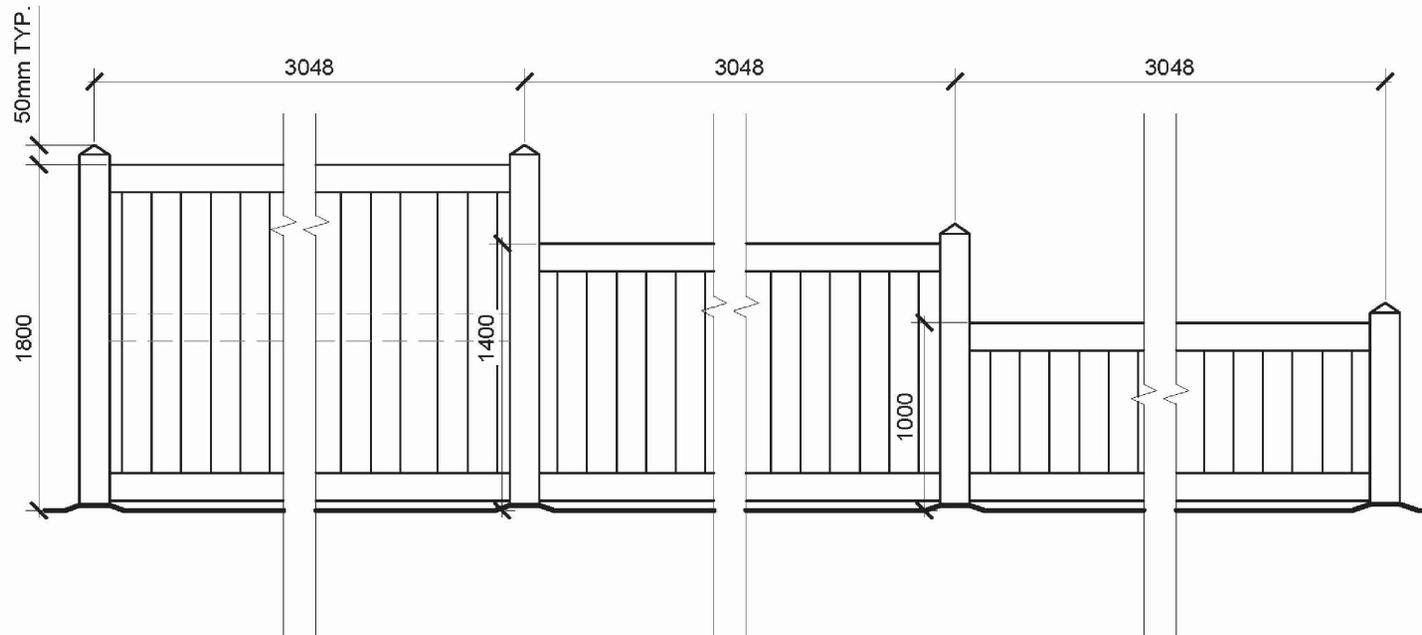
Mushroom Fields - PAINT BY CLOVERDALE PAINTS
(Weather One Designer Selections Colour Code EX216)



SECTION

NOTES:

- FENCES INCLUDING THE CONCRETE PILE MUST BE CONSTRUCTED WHOLLY WITHIN PRIVATE PROPERTY.
- FENCES ON PRIVATE PROPERTY SHALL REQUIRE A MINIMUM OF PRESSURE TREATED POSTS AND BOTTOM RAILS. FENCES ON CITY PROPERTY SHALL REQUIRE ALL WOOD MEMBERS TO BE PRESSURE TREATED OR APPROVED EQUAL. ALL WOOD MEMBERS ABOVE GROUND TO BE NON-INCISED.
- ALL NAILS TO BE 60mm SPIRAL GALVANIZED. USE AS REQUIRED TO ENSURE SECURE ASSEMBLY.
- WOOD USED MAY BE LODGEPOLE PINE, FIR, HEMLOCK OR SPRUCE, DEPENDANT ON AVAILABILITY AT TIME OF CONSTRUCTION.
- ALL STAIN TO BE AS PER LANDSCAPE ARCHITECT. APPLY 2 COATS AS PER MANUFACTURERS SPECIFICATIONS. COLOUR TO BE DETERMINED BY LANDSCAPE ARCHITECT. STAIN BOARDS ALL FOUR SIDES PRIOR TO CONSTRUCTION.
- PRESSURE TREATED POSTS TO BE TREATED WITH A SOLUTION OF PENTACHLOROPHENOL AND PETROLEUM TO CSA-080.
- PROPERTY LINE OFFSET DIRECTION VARIES. REFER TO PLAN.
- ALL DIMENSIONS IN MILLIMETERS.



ELEVATION

NOTES:

- REFER TO CONSTRUCTION DETAIL LA405 FOR ALL METHODS AND MATERIALS REGARDING CONSTRUCTION OF WOOD SCREEN FENCING.

NOTE:
WOODSCREEN FENCE INTERSECTS WITH
CHAINLINK AT MESH OR POST (VARIES)

COLOUR:
Mushroom Fields - PAINT BY CLOVERDALE PAINTS
(Weather One Designer Selections Colour Code EX216)

Appendix E – Column Details
